

COCONUT TRACE
DESIGN REVIEW GUIDELINES

Hole Montes, Inc.
Project 2004.056

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PART 1 PROJECT DIRECTION

I. INTRODUCTION

The commercial development of Coconut Trace offers a unique mixture of retail, business, and medical offices coordinated into a unified complex. Located in Southwest Florida approximately ¼ mile north of the US 41 and Coconut Road intersection in Estero, Coconut Trace is situated in a rapidly growing community that is establishing a tradition of superbly designed, quality development. Coconut Trace is located approximately equidistant from Fort Myers and Naples, allowing it to serve the needs of both south Lee and north Collier County residents and visitors.

Coconut Trace blends with the vernacular styles of the surrounding Mediterranean architecture, accented by a tropical landscape. This comprehensive set of design guidelines will ensure quality and consistency in the development of this project and direct owners, tenants and developers of Coconut Trace toward the successful realization of common objectives. The communities of Bonita Springs and Estero have already established a regional identity and quality of life which is reflected in their built environments. The Coconut Trace Design Review Guidelines acknowledge these characteristics and have been created to continue the ambiance of these communities.

The Design Review Guidelines shall establish the character of this commercial complex and encourage creativity in reaching the program objectives and design intent. Development will comply with local building and planning agency requirements, yet these guidelines are not intended to limit solutions to any one particular design style or lead to the creation of repetitive or unimaginative product. Compliance with these guidelines will ensure the quality of Coconut Trace.

In order to implement the Coconut Trace Design Review Guidelines, an application submittal, review and approval process is critical. Prior to any application for building and development permits, owners and tenants must complete this process through submittal to the Coconut Trace Design Review Board (DRB). Details of the process will be covered later in these guidelines.

II. GUIDELINE OBJECTIVES

-Create an identity for Coconut Trace which blends with the established character of the surrounding communities

-Establish an ambiance of casual elegance through the coordination of architecture, landscape, lighting and signage

-Reflect the character and commitment to quality existing in the surrounding areas of Estero and Bonita Springs

III. DESIGN REVIEW PROCESS

All plans and materials must be approved by the Coconut Trace Design Review Board (DRB) before any construction activity may begin. No structure or signage may be erected on any parcel, no improvements or site work and no planting or removal or any landscape material shall take place without prior written approval from the DRB.

A. Initial Design Meeting

Prior to any submittal of plans, the DRB and the tenant or owner shall meet to discuss the building concept, design requirements, construction schedule and the design review process and schedule. A conceptual plan illustrating the building locations, setbacks, access, parking, and utility locations should be presented for discussion at that time. At that point, the DRB shall outline any additional information that may be required. Typically, this initial design meeting will be held prior to engineering and landscape designs.

B. Preliminary Plan Submittal

Subsequent to the initial design meeting, preliminary plans with sufficient detail to clearly illustrate major elements of the project design, including massing, structure, exterior elevations, finish materials, sidewalks, mechanical and dumpster location, abutting property usage, lighting, landscaping, signage and any other site development items shall be submitted to the DRB for approval.

The following steps for using these Design Review Guidelines are recommended for approval:

1. Review and follow the requirements for each component of proposed development (i.e. architecture, landscape, lighting, and signage).
2. Ensure that plans conform to specific guidelines established for that component
3. Follow the design submittal, review and approval procedures

C. Construction Document Review

Subsequent to the approved preliminary plans, construction working documents for the vertical construction, site work, landscaping, lighting and signage, consistent with drawings to be submitted to Lee County, shall be submitted to the DRB. The Board must approve the final plans in writing, prior to the commencement of any work on the parcel and prior to submitting to the Estero Design Review Committee (EDRC) and Lee County for a Development Order and/or building permits.

D. Changes After Approval

All proposed changes to final construction documents made after the approval of such plans must be submitted to and approved in writing by the DRB prior to implementation. If Lee County or any other jurisdictional authority requires that changes be made to final plans previously approved by the DRB, the owner/project developer must notify the EDRC and receive subsequent approval prior to implementation.

PART 2

ARCHITECTURE

I. INTRODUCTION

The design of all structures and site details will draw from the Mediterranean Revival architecture to be consistent with the style of the surrounding communities. At the same time, the design will allow for a subtle blend of modern architectural features incorporated in a transitional manner for portions of the buildings.

The integration of simplified elements together with the more traditional details of Mediterranean architecture will provide the development with a distinctive character that will speak of the nature of the building functions.

The intent is for the architecture to reflect the advances in the technology being utilized in the buildings as well as to provide the users with the warmth and detail that they are familiar with from their surrounding environment. The emphasis on detail will be particularly developed at the pedestrian level.

It is this blend of old and new in this Neo-Mediterranean style that will provide uniqueness to Coconut Trace and will set it apart while continuing to be sensitive to the local identity developed by the surrounding areas.

Articulation of facades is required on all four sides to create light and shadow transitions, visual interest, and reduction of building scale. Arcades not only minimize building scale but provide shade and often accentuate building entries. Visual interest and the ability for change in material and texture are provided through a combination of hip type, low angled tile roofs and flat parapet rooflines. Special attention should be given to scale and proportion of the building to the site. The scale relationship of each building component shall relate to the overall massing of the project.

The color palette shall be warm, earth tones consistent with Mediterranean architecture. Changes in color enliven façades while variety in texture at building or façade transitions creates shade and shadow. Ornamentation activates building facades and reinforces the identity of the community.

Coconut Trace shall be distinguished from ordinary commercial developments as the pedestrian shall be shaded by awnings, arcades, plantings, etc. Efficient building placement and logical building entry locations encourage efficient circulation.

II. ARCHITECTURAL CHARACTERISTICS

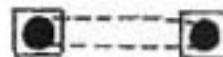
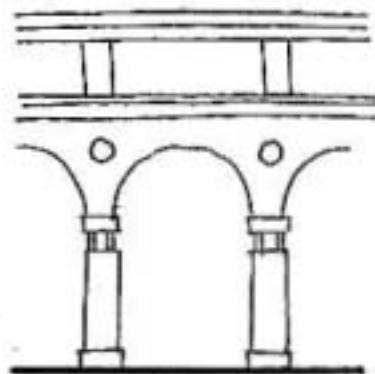
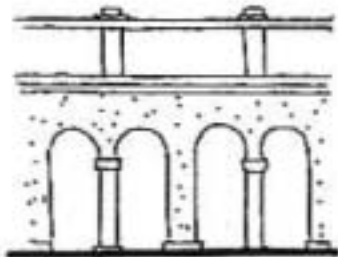
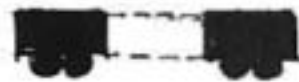
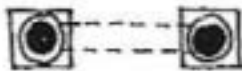
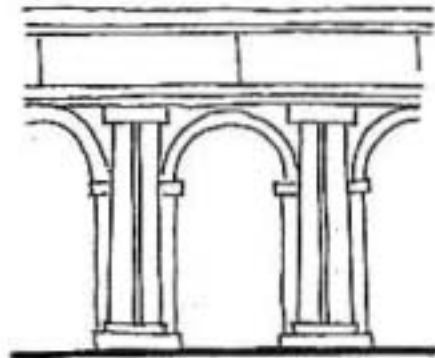
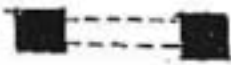
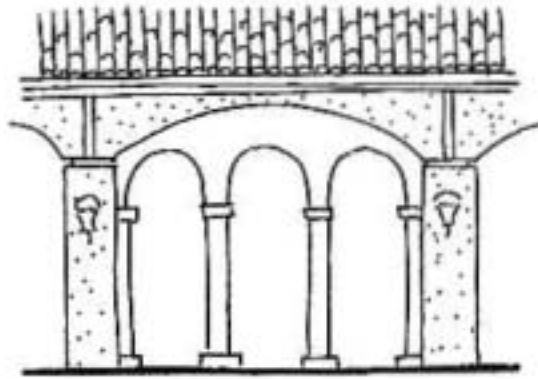
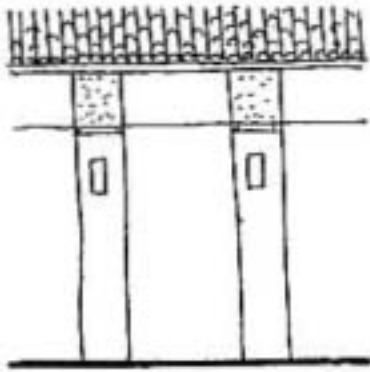
A. Architectural Language

Architectural components of Coconut Trace have been designed to support the Neo-Mediterranean style of the development. Designers are encouraged to creatively use a variety of components to enhance the visual interest and reinforce the design identity of Coconut Trace. Throughout, design continuity should reinforce the Mediterranean Revival style in its essence while at the same time incorporating, where appropriate, construction materials and elements typical of the growing technology of our times.

B. Architectural Elements

Arcades

In front of or along the sides of a building façade, covered passages known as arcades provide protection from the elements, enhance building entrances and reduce building massing to a more pedestrian scale by introducing an intermediate roofline. Below its roofline, the shape and frequency of arcade openings should relate to the architecture and establish a rhythm along the building façade.



Awnings

Awnings shall be designed as an integral part of a building and should be associated with an opening. Like arcades, awnings provide shade and add color and texture to the building façade. The shape of the awning should coordinate with the corresponding window shape. There are a variety of styles and materials available. Material other than canvas may be approved by the DRB provided it has similar or better qualities than canvas. The architectural plans shall clearly specify any awning design and be subject to review and approval by the DRB.

Balconies

Whether functional or merely ornamental, balconies are focal points on a building façade. Balconies help to reduce the scale of a building and provide the option for overhead plantings. Balcony rails may be wrought iron, aluminum or wood in coordination with other architectural details.

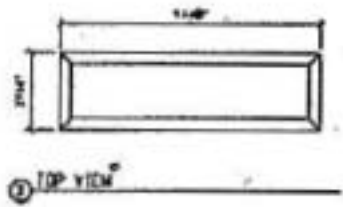
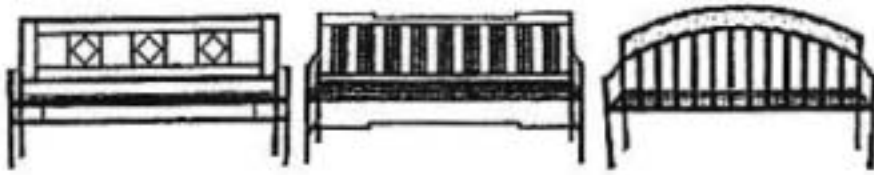
Benches

Coordinated with the established architectural style, benches shall be provided to offer occasional seating along storefronts, at store entries, within courtyards, etc. for rest and relaxation. Wood, metal or cast stone would be appropriate materials.

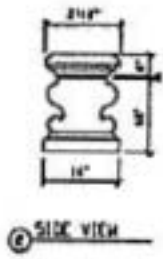
Benches



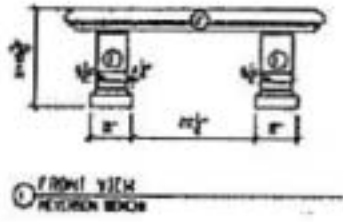
ARCHITECTURAL ELEMENTS



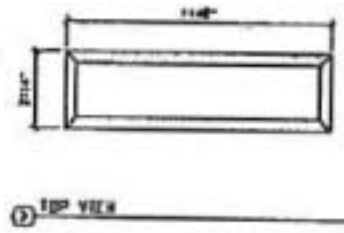
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② SIDE VIEW



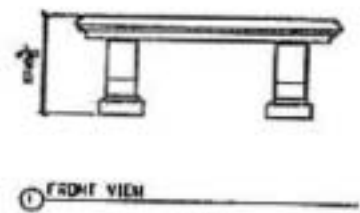
③ FRONT VIEW
RETURN BENCH



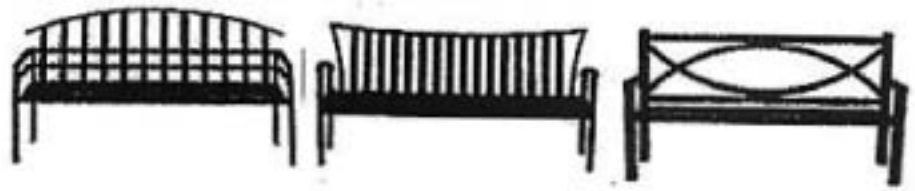
① TOP VIEW



② SIDE VIEW



③ FRONT VIEW



Ceramic Tile

Ceramic tile is an appropriate ornamentation of Mediterranean architecture, adding color, pattern, and texture. Tile may be used as an accent in surface paving, at stair risers, storefronts, window sills, and wall details such as frames, bands and small murals.

Color Palette

Neutral, warm, earth tone colors shall comprise the palette of façade colors at Coconut Trace. Building trim and accents may be of lighter or darker colors within the same earth tone palette. Architectural expression of colors including transitions between foundation and walls and trim details at windows, doors and other locations is encouraged.

Columns

A horizontal rhythm can be established through the use of columns corresponding in design to the architectural style. Building proportion and column dimensions should be carefully coordinated. Based on the building design, columns will be cast stone, concrete or wood with either simple or ornate capitals or bases.

When used as part of a formal or informal colonnade, columns define a place to walk under protection, softening the building scale and façade and offering shade and shadow relief.

Cornices and Wall Caps

Cornices and wall caps provide an ornamental termination for building parapets at flat roofs, directing water away from the top of the building façade. Cornices should be appropriately scaled and must either terminate at a recess or an architectural feature.

Cast stone for wall caps and cornices and clay tiles as parapet wall caps are consistent with the Mediterranean Revival style being used for Coconut Trace. Cornices and wall caps can be thought of as molding, incorporating contrasting curved and faceted elements and offering a variety of texture and shadow.

Eave Types

Beyond the functionality of providing rain and sun protection, eaves allow for ornamentation of shade and shadow. Dentils and exposed rafters repeated along the upper areas of the building façade establish a horizontal rhythm. Cast stone and wood are appropriate materials.

Entryways

Entryways define orientation and access to the inside of a building. Entryways may be covered by balconies, overhangs or façade projections or recessed within a continuous building façade, comprised of arches, display windows and seating.

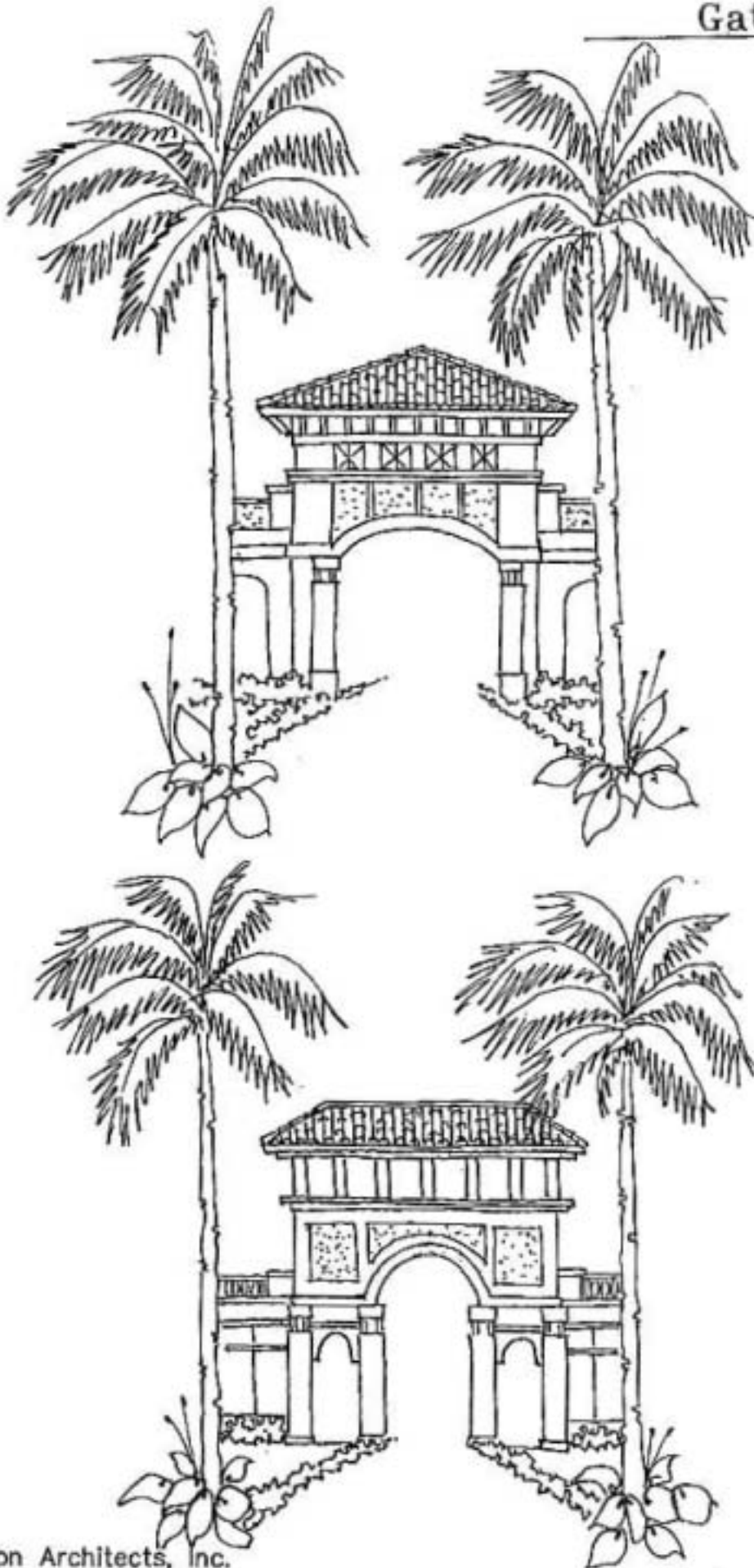
Façades and Exterior Walls

Façades at Coconut Trace shall be articulated with recesses, projections, parapet height changes and variations in color and texture. Ornamentation such as molding, wall bases, vine pockets, wall caps and pilasters enliven facades and strengthen the Mediterranean architectural style.

The Lee County Land Development Code (LDC) dictates that buildings with façades over 75 feet in length shall incorporate wall projections or recesses of a minimum three foot depth and minimum 20 continuous feet within each 75 feet of façade length and shall extend over 20 percent of the façade. Architectural details such as arcades, display windows, entry areas or awnings shall be incorporated along at least 60 percent of the facades.

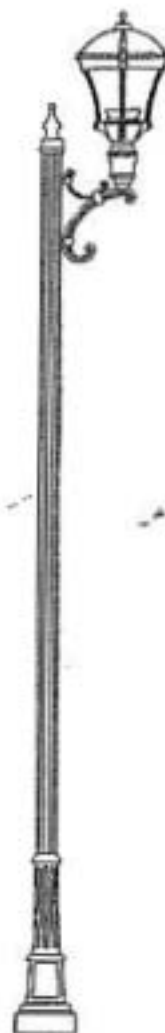
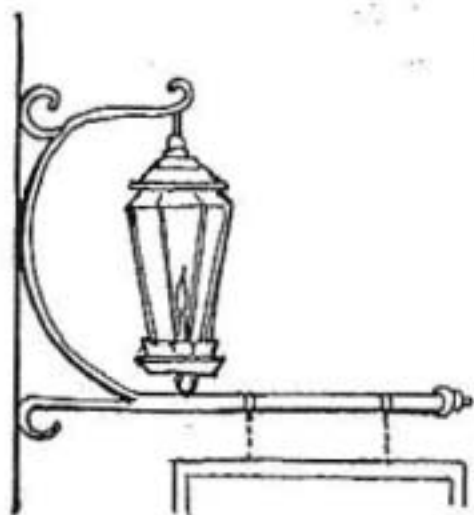
Gateways

Often used to identify a project and serve as an entrance, proposed gateways for this project would be used to connect buildings and invite users to an inner space beyond. The established architectural theme shall be extended throughout.



Lighting of Building Facades

Integrated building lighting in the form of sconces, uplights, cove lights and ornamental fixtures can define and enhance building massing and color, reinforce the architectural identity of the building and set the tone for the entire development. Visible light fixtures should be made of wrought iron and glass, painted metal and aged metals.



Massing

Simple massing of elements that are accented with architectural details of the Neo-Mediterranean buildings of Coconut Trace shall repeat articulation of the ground floor level for pedestrian and vehicular traffic. Ground level windows may be articulated by arched openings, colonnades, canopies or awnings.

Upper floors shall feature both the horizontal and vertical detailing through arched, square and rectangular openings, attached balconies and recessed porches. Walls should have the appearance of being load bearing with proper spacing, size and composition of openings at the ground level. Upper level walls could be a combination of load bearing appearance as well as the appearance of lighter structures through the use of appropriate fenestration according to the specific building use. The combination has to be subtle and the transitions shall be well articulated.

The LDC requires that building façades include a pattern of no less than three of the elements listed below with at least one repeating horizontally. All elements shall repeat at intervals of no more than thirty feet, either horizontally or vertically.

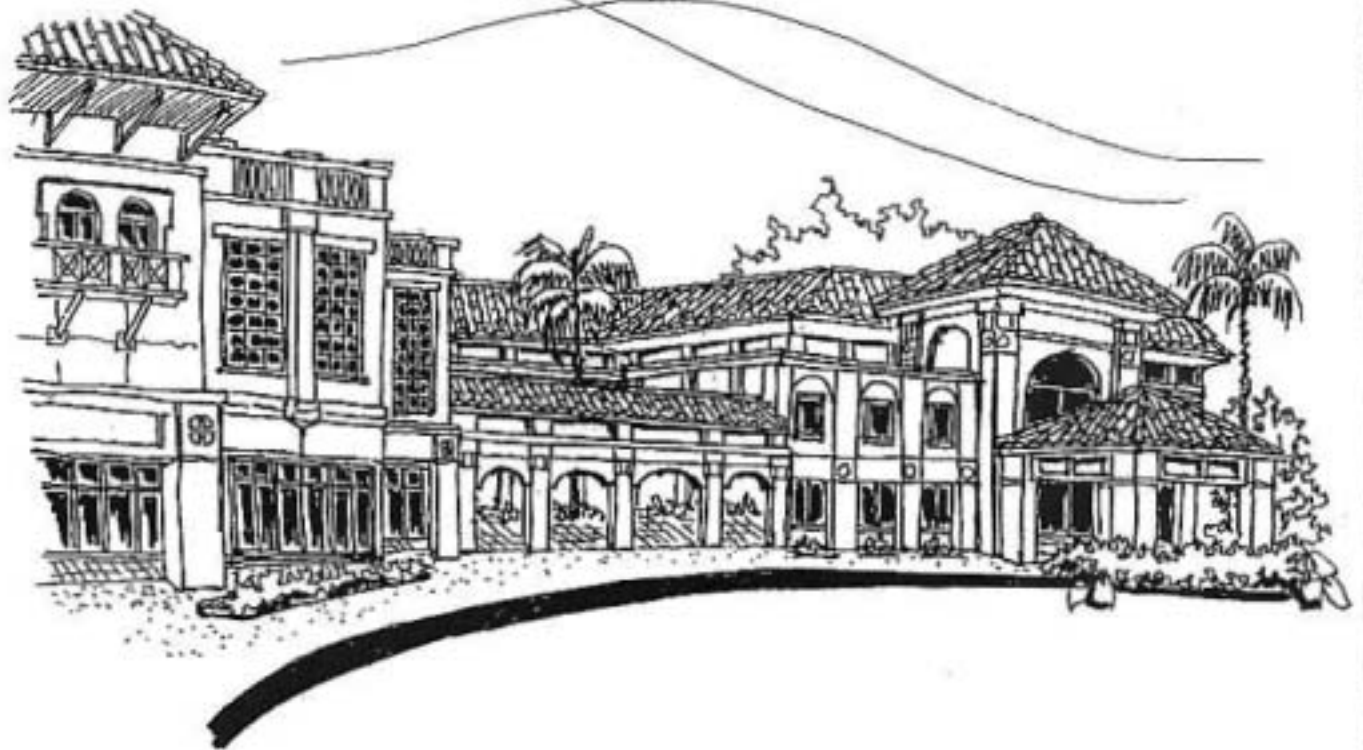
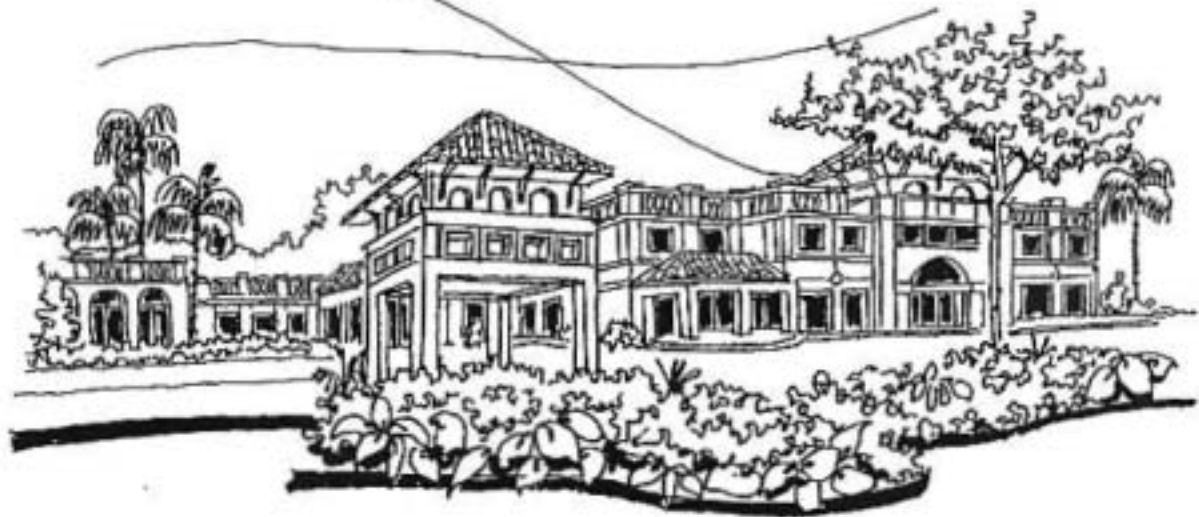
- Color change

- Texture change

- Material module change

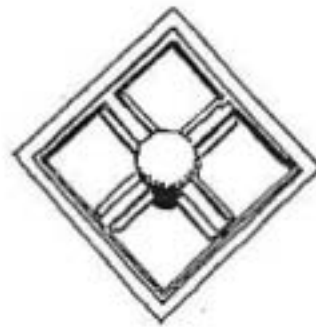
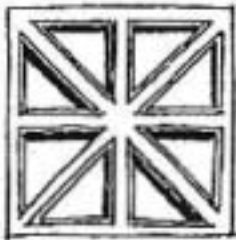
- Plane change through an offset, reveal or projecting rib creating a structural or architectural bay no less than 12" in width

- Colonnades, moldings, bases, cornices and other items shall wrap building corners at a ninety-degree angle and terminate at an architectural element.



Medallions

Medallions are appropriate details adding texture and ornamentation to a building façade as accents above colonnades or windows. Single, larger medallions may adorn facades. In multiples, they create texture and shadow on large wall surfaces. Cast stone or metal are appropriate medallion materials.



Moldings

Combining several levels or contrasting curved and faceted moldings adds horizontal relief and allows for color and texture change. Cast stone is an appropriate molding material.

Ornament

Architectural ornamentation can be featured as metal door pulls and decorative finials and cast stone relief bands, pendants and keystones as well as metal screening, brackets or grilles along the wall surfaces.

Railings

Railings should complement the architectural character of Coconut Trace while providing safety in situations where a person might fall. Railings must be designed to resist lateral forces and openings must be minimized to prevent a child's head from passing through. These code requirements do not inhibit decorative design. Metal or cast stone would be the appropriate material for the Mediterranean character.

Roofs – Types and Massing

The Mediterranean Revival style is characterized by low pitched and random tile roofs. A combination of hip type and flat parapet rooflines provide variety at Coconut Trace. In general, pitched roofs shall not exceed a 4:12 slope. However, roof pitches exceeding 4:12 may be allowed subject to the approval of the DRB. Cornices, balustrades, pre-cast screen panels or wall caps at parapets shall adorn flat roofs. A minimum height change of 3 feet in every 75 linear feet of building length shall provide visual interest.

Mansard type, pitched parapets may be acceptable, with proper drainage, in certain locations, subject to approval of the DRB. Designed to reflect a pitched Mediterranean style at the front of a building and appear as a conventional hip roof, the Mansard type parapet must return at a ninety-degree angle and terminate at an architectural element.

Roofs shall have a minimum overhang of 18". Smaller overhangs (not less than 14") may be allowed providing the fascia is a minimum of 10" and the overhang is accompanied with banding and/or decorative brackets not less than 8" in height.

Asphalt shingles on pitched roofs are not permitted. Metal roofs may be allowed as accents in limited areas subject to the approval of the DRB. Roof top, mechanical and roof top equipment shall be located in areas of low visibility and fully screened from view on all sides with material consistent with the main façade of the building to reduce the visual impact on adjacent properties. All rooftop equipment must match roofing colors and be placed as inconspicuously as possible.

Roofs – Clay and Tile

The Neo-Mediterranean architecture of Coconut Trace appropriately may feature clay tile roofs in both the Roman Pan and Barrel styles, laid in either a regular or irregular pattern and, perhaps, interspersed with rounded clay tiles. Roof tile colors shall be coordinated with the established warm, earth tone color palette. "Booster" tiles and/or visible grout may be used to add dimension and the perception of age.

Both the Roman Pan and Barrel styles would benefit from using boosters and installing in a random, stagger pattern to increase architectural interest.

Storefront/Ground Level Window Frames

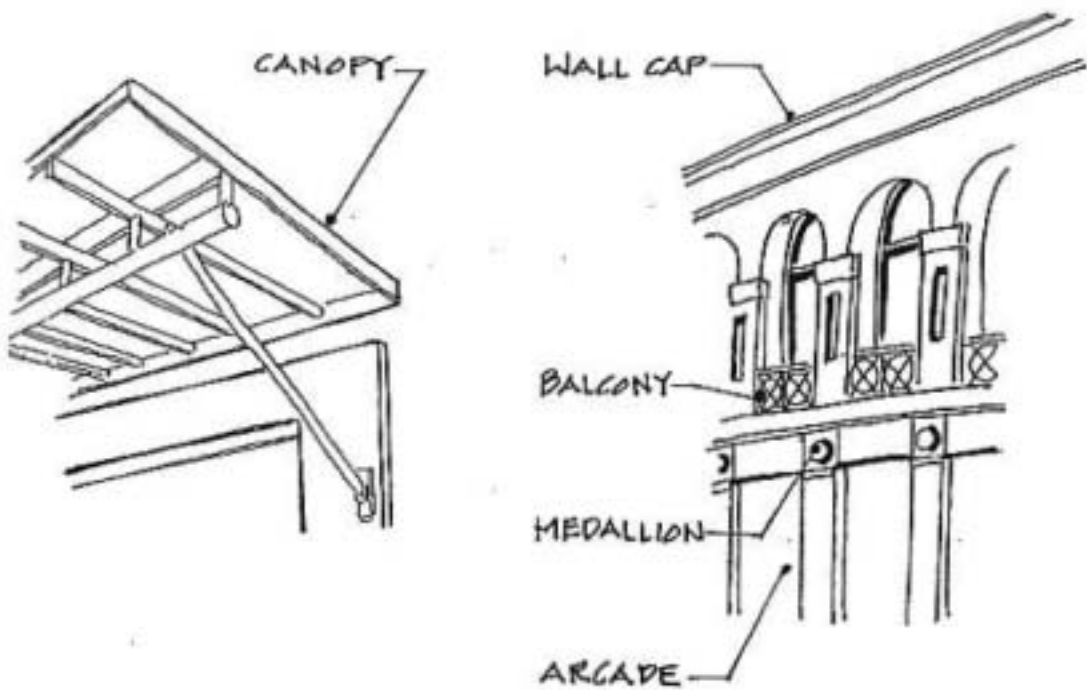
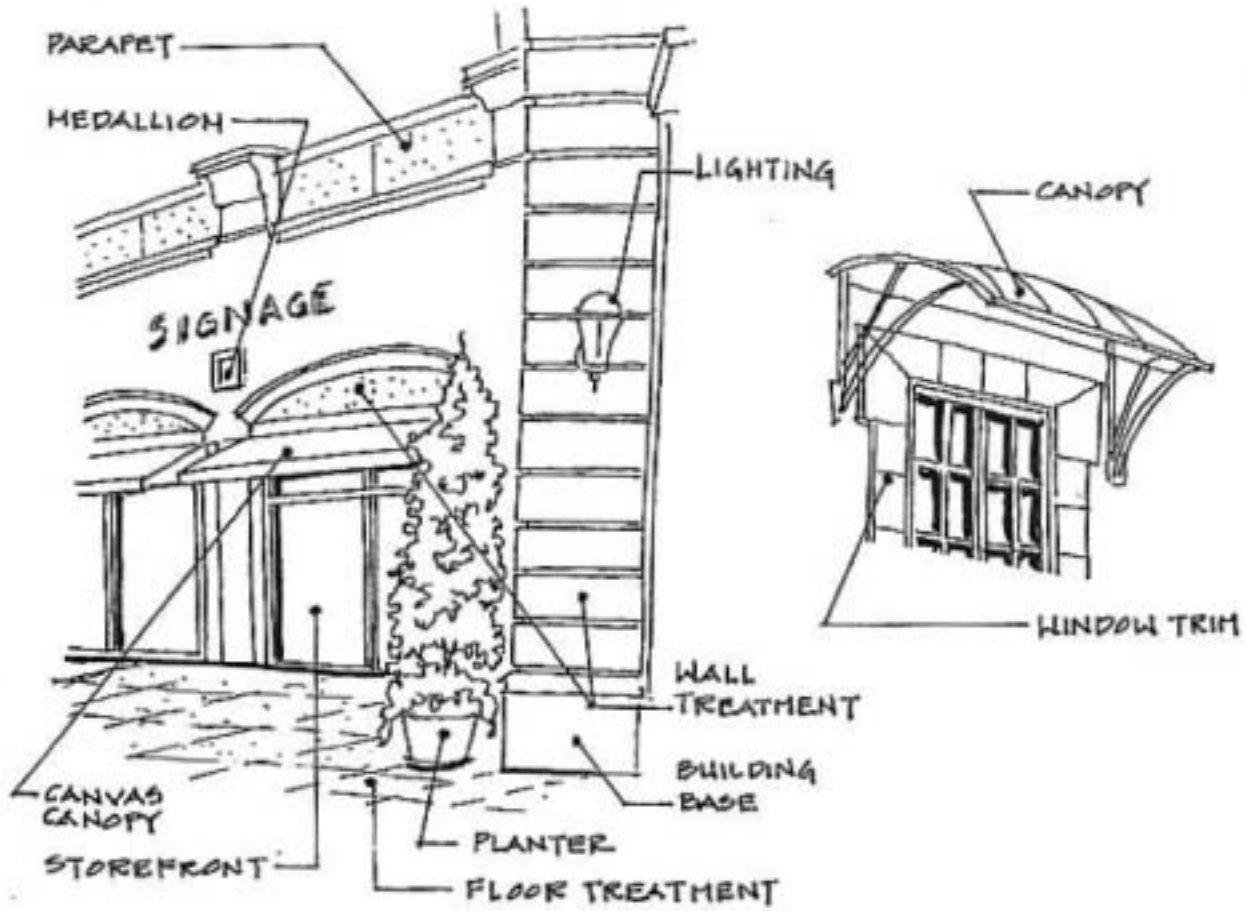
Storefront windows, large glazed expanses of glass and entry doors require additional ornamentation to be compatible with the Mediterranean Revival architecture. Mullions and cap and pan elements should be included for articulation beyond a basic extruded aluminum profile to add relief and dimension to doors and windows.

Stucco Texture

Variations in texture such as smooth finish, light dash finish or medium dash finish at reveals, building profiles, or molding transitions add visual interest to building elevations through differing shadow conditions. Bandings, moldings and stucco reveals shall be of substantial dimension at texture or color transitions.

Wall Bases

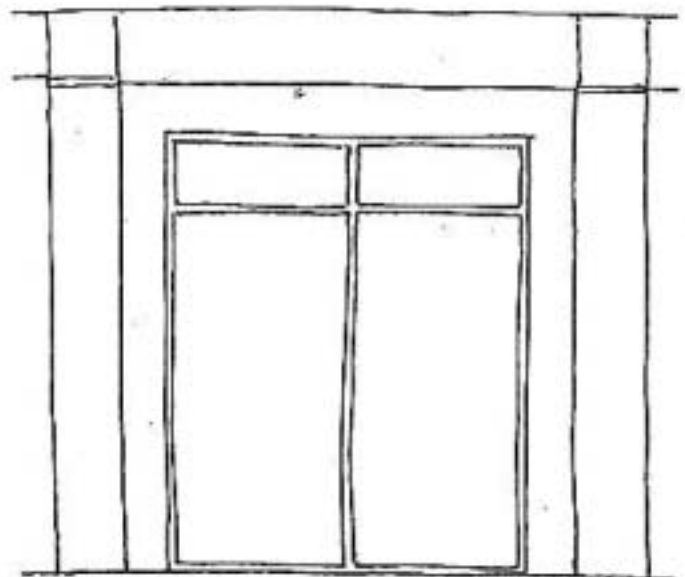
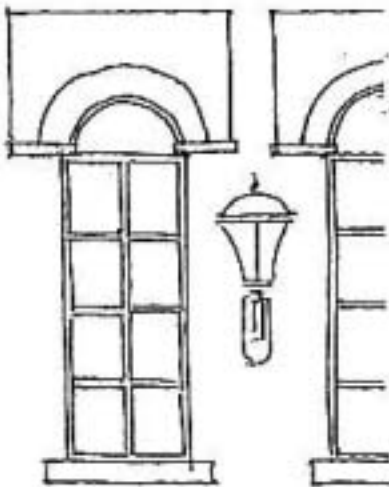
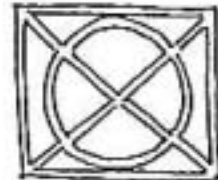
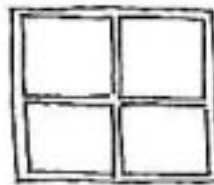
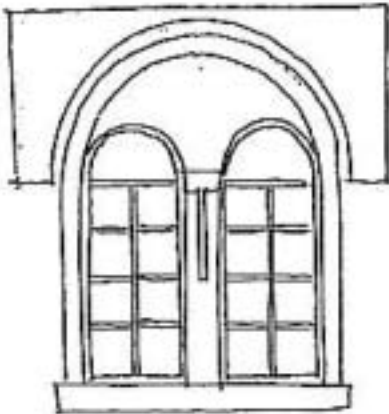
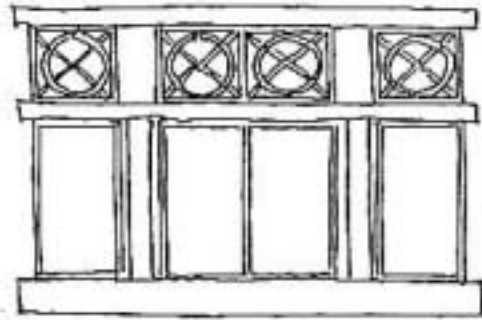
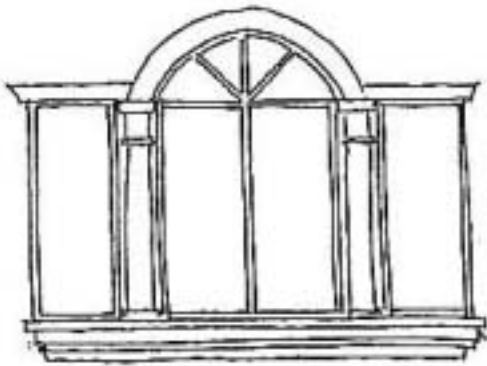
Wall bases on building facades are recommended to provide a transition between horizontal paved surfaces and vertical wall planes, and to ground the building. Wall bases, like molding, may have rounded or articulated corners. Stone or cast stone are appropriate wall base materials.



Window Types

Mediterranean Revival architecture is typically adorned with single or double casement windows, by themselves or with flat or arched transoms. Deep returns at window openings are characteristic of this style and encouraged to add depth, creating the appearance of "thick" walls. Windows may be grouped together with simple or ornate cast stone trim. Arched, square or Moorish tops featuring tile inlay may be used. Ornamental window shapes include square, round, and floral. The use of storefront windows at upper levels may be allowed when properly combined with the building style. The integration of larger panes of glass shall be subtle and the transition well articulated subject to the approval of the DRB.

Windows shall feature clear glass or a tinted glass of bronze, gray, green or smoked colors. No reflective glass may be used. Aluminum window frames in warm, earth tone finishes shall be used. Mill finished aluminum is prohibited.



III. COMMERCIAL ARCHITECTURE

A. Commercial Retail

I. Design Criteria

- Articulated façades to reduce scale.
- Architectural features and patterns to provide visual interest.
- Roofline variations to add interest and reduce scale.
- Aesthetically pleasing and appropriate building materials compatible with materials and colors to be used in Mediterranean Revival style architecture.
- Entryway enhancement for clear orientation and definition of building character.
- Arcades to reduce scale add dimension and provide protection from the elements.
- Smaller "Liner shops" with separate exterior entries reduce large expanses and walking distance between stores and create a more intimate, pedestrian scale.
- Windows and window displays with ornamental frames and base elements enliven exterior façades.
- Appropriately scaled, architectural features including windows, doors, arcades, recesses, overhangs or projections.
- Appropriate signage and lighting.
- Architectural plans shall provide for transparency and glazing at 60% of the horizontal area of a façade between 3 and 8 feet above grade. Large expanses of blank walls are unacceptable.
- Glazed windows should be recessed and should include articulated window framing through the use of prominent sills, shutters and lintels.
- Façade materials and colors should be compatible with the Neo-Mediterranean style architecture.

2. Façade Articulation

Three distinct categories of façade articulation have been established for the buildings at Coconut Trace based on visibility and location within the project.

Each design should reflect the Neo-Mediterranean style in varying degrees of ornamentation.

a. Front Façade

This façade includes the primary entrance and is located facing onto a primary road. This façade is highly articulated featuring a variety of architectural components.

b. Side Façade

This façade may include a secondary entrance and may be located facing a secondary road or drive aisle. This façade is less articulated with select use of architectural components.

c. Rear Façade

This façade is considered the "back" of the building and may face service areas, back of house parking fields, other non-public spaces and, often, a loading area. This façade is the least articulated but must include similar architectural components to the other building façades. Commercial retail loading areas include additional requirements for screening, particularly when facing abutting residential properties. Landscaping and berms may be incorporated with the rear façade.

B. Healthcare Facilities and Medical Office Buildings

As a permitted use, healthcare facilities and medical office buildings may become part of Coconut Trace, providing an additional community service. Due to the nature of their operation, these buildings may have specific functional requirements in addition to the detailed, architectural guidelines described within.

While different façade materials, colors, fenestration and ornamentation may be used, the Neo-Mediterranean architectural style should be upheld. Often, these buildings will have major entries and porte cocheres or drop off zones which should coordinate with the architectural language of the primary structure.

Part 3
SITE PLANNING AND LANDSCAPE DESIGN

I. INTRODUCTION

Insightful site planning and landscape design are critical in developing an aesthetically pleasing, Mediterranean commercial complex. Coconut Trace will display a combination of formal and informal landscape treatments throughout the project. The interior roadway will be flanked with a welcoming streetscape while the west perimeter buffer will mimic the existing conservation areas. The plant palette shall consist of tropical palms, flowering and shade canopy trees, lush shrubs and colorful groundcovers.

For textural accent, concrete or clay pavers in warm earth tones may be used. The specific color selection shall be compatible with the architecture. Bright or unnatural colors shall not be allowed. The use of tumbled or used pavers that have an aged or weathered appearance is encouraged. Stamped concrete may be used as an accent to smooth concrete. Stamped and/or colored asphalt may be used for crosswalks and other similar treatments within parking lots and drive areas. All such treatments are subject to prior approval by the DRB.

The landscape design standards of Coconut Trace shall provide a framework for visual continuity throughout the project. The landscape should enhance the pedestrian experience, serve to clarify the identity of the project and increase the development's marketability.

The site has its major exposure to US 41 to the east and the Marsh Landing residential community to the west with Marsh Landing Boulevard to the north and the common entrance with the commercial project to the south. This development shall be buffered from surrounding properties while providing selective visibility to the tenants. As committed to on the Master Concept Plan, a landscape buffer no less than 30' wide shall be provided along the west property line, consisting of 10 trees per 100 linear feet, of which at least 5 must be large, native canopy trees, combined with a hedge. In place of a wall, the developer shall install a 6' high, security-type fence along the westerly property line as part of the buffer. The hedge must be planted outside the fence in double, staggered rows, 48" in height upon installation and maintained at 60" within one year after planting, forming a continuous, visual screen.

In conjunction with the above buffer, along the northerly 550' of the west property line, the developer shall provide either a 2' high berm with the height of the berm not considered in calculating the tree heights required in the LDC or install trees that are a minimum of 2' taller upon installation than the tree heights required in the LDC.

South of the northerly 550', a 6' high wall shall be installed for the remainder of the west property line to buffer the adjacent residential development of Marsh Landing. A single row hedge shall be planted on the residential side of the wall, consisting of 100% native species, 48" in height upon installation and maintained at a minimum 60" height. A minimum of 5 Sabal palms per 100 linear feet on the Marsh Landing side of the wall and a minimum of 5 native, canopy trees per 100 linear feet along the east side of the surface water retention areas shall meet the 10 trees per linear feet buffer requirement.

Required buffers shall be installed according to the LDC, Development Order and zoning resolutions of Coconut Trace.

II. SITE PLANNING

A. General Characteristics

Site planning at Coconut Trace shall reflect the incorporation of both the built environment and the natural landscape. Landscape design concepts shall respond to the specific site, as well as the Neo-Mediterranean character of the project, uniting all elements in a cohesive design, successfully satisfying both aesthetic and function.

The scale at which design elements and plant material will be seen and experienced is critical in developing the site planning and landscape design. Undesirable and unsightly objects shall be suitably screened from view. No outdoor storage, display or sales of commercial products shall be permitted.

The orientation of all buildings must consider parcel configuration, solar alignment, access to the structure (including service vehicles), any adjacent structures and views both to and from the building.

All buildings on Tracts "E" and "F", also known as Lots "H" and "T", must be situated on the west side of the tracts with parking located on the east side of the buildings, away from the adjacent residential property.

Design guidelines and specific criteria for particular site features have been developed. The following categories reflect elements that may affect visitors' perceptions and reinforce the Neo-Mediterranean identity of Coconut Trace.

1. Pedestrian Circulation, Sidewalks and Paving

The development will provide pedestrian sidewalks from public rights of way to and along internal roadways. A sidewalk shall be provided on at least one side of all main entry drives and internal roads serving the project, creating an internal, coordinated pedestrian sidewalk system. All parking fields within the project are to be provided with functional pedestrian access paths to their related buildings.

Sidewalk locations and sizes must meet all relevant development codes. In general, sidewalks along all roads and drive lanes should be a minimum of 5'-0" wide and be located a minimum of 4'-0" from any driveway back of curb or gutter.

Required walkways shall be designed with a minimum of five feet width that is clear of any vehicle overhang. Sidewalks through parking lots may be a minimum of 4'-0". The design of such walkways shall take into account the tree requirements within the parking fields.

As a general planning rule, reasonable pedestrian access shall be defined as one parking lot pedestrian access per 300 parking spaces. As each parcel is developed, the DRB will review site plans to ensure that efficient access has been provided.

2. Vehicular Circulation

For vehicle passengers, view corridors into the landscape are to be provided and enhanced. Select views and focal points in the landscape design shall be located considering the distance from the vehicle and the speed at which they will be best viewed. Landscape design, directional signs, lighting, paint striping and changes in paving materials that are properly coordinated will enhance circulation.

Roadway widths shall be calculated based on primary or secondary function. Landscape design and corresponding site features shall relate in scale to the corresponding roadway type.

Entry drives shall be identified by landscape and signage. Internal vehicular circulation between adjacent properties is encouraged to improve accessibility.

3. Site Furnishings and Amenities

Comfortable and attractive site furnishings shall be provided for public enjoyment, comfort and convenience, including benches, trash receptacles or directories. The chosen locations must afford safety and discourage loitering.

Other site furnishing amenities might include planters and bollards, tree grates, benches, public art, decorative street signage, and sculptures. Furnishings shall be integrated with the design of planting, irrigation and pedestrian systems. The design of all site furnishings shall reflect the overall Neo-Mediterranean identity of Coconut Trace.

Bicycling shall be encouraged with bike racks installed at appropriate locations for safety and ease of parking.

4. Parking

All parking areas shall be designed to meet or exceed Lee County minimum standards. Landscaped parking islands are to be provided, at a minimum, at the ends of all bays of parking to separate the parking from the roadways. Continuous landscaped medians between parking aisles may be used in place of individual islands. Where medians are used, adjacent parking rows may be 16' deep versus 18'. The median width shall be increased by 2' on each side to accommodate automobile overhang. This area shall be planted with groundcover or turf or paved with impervious or pervious material.

The sizing of islands and medians shall be code compliant but need to be a minimum of 10'-0" x 18'-0" in order to meet open space requirements. They are to be planted with shade and other trees, shrubs, groundcover, turf or low growing plantings. If a 10' minimum area is not provided for canopy trees that reach a mature height of 20' or more, smaller trees must be planted.

All parking areas are to be screened with attractive, code compliant landscaping without impacting visibility or creating obstructions.

5. Screening Devices

Screening shall be provided by landscaping or construction of solid walls, designed to be coordinated with the building architecture and express the character of Coconut Trace. For retail operations, shopping carts, if used, may be stored outside provided they are screened from view and have approval of the DRB. Any utility items which protrude above the ground for service, access, safety or code, shall be screened with a wall, fence and/or planting and must be shown on the appropriate drawings. All exterior mechanical equipment, including roof-mounted HVAC equipment, must be screened from the Marsh Landing RPD.

All service function areas shall be located away from US 41 and from the west property line or Marsh Landing RPD, and be fully screened on three (3) sides by a 6' wall, fence or similar structure with a solid gate. All service function areas are to be landscaped by a continuous hedge or similar screening device.

All refuse must be properly held within containers located and visually screened to not be visible from any street or adjacent sites. All dumpsters must be screened using a block and stucco wall, painted to match the primary structure. If there is to be a service station, an 8' enclosed trash area must be integrated with its design.

Walls may be accented with tile or stone appliqués, appropriate with the Neo-Mediterranean architectural style. The use of articulated wall caps is encouraged. No wall, screen or fence of any kind may be constructed unless specifically approved by the DRB.

Landscaping is required where expanses of solid building wall area are without architectural detail. Screen walls must be properly landscaped with vines or shrubs of a size and spacing appropriate to the plant material. Type, size and spacing of planting at screen walls shall meet or exceed code requirements. Trees, shrubs and vines used as screening devices shall provide 75% coverage within a two (2) year period. Screen walls do not take the place of any required landscaping.

Aluminum gates and railings shall compliment the Mediterranean architecture. All fences, walls and railings are subject to the approval of local building authorities and the Coconut Trace DRB. Chain link fences are not permitted. All site features must be properly maintained to uphold the overall aesthetic standards of Coconut Trace.

B. Commercial Site Planning Details

The following images and site sections shall convey the site planning character of Coconut Trace.

III. LANDSCAPE DESIGN

A. General Characteristics

The selection, location, and scale of plant materials at Coconut Trace are important aspects of its landscape design as well as the functional issues of landscape maintenance and irrigation.

The following guidelines outline general planting concepts, irrigation, landscaped entries, and landscape maintenance. A comprehensive, recommended Plant Material List is included for design reference, continuity and compliance. Utilization of species from the established plant material palette is required.

All landscape plans shall be designed, signed and sealed by a Florida licensed Landscape Architect. All landscape, architectural and site plans must be submitted to the DRB for review and approval. Landscape plans must show all proposed site improvements, including buildings, parking, sidewalks, lakes, fences, amenities, etc. as well as all tree, shrub and sod locations, sizes and quantities.

I. Planting Concepts

-Landscaping, buffering and native plant requirements must be in compliance with local development codes and regulations and with the standards established by these Coconut Trace Design Review Guidelines.

-The interior dimensions of any planting area or planting median must be sufficient to protect the landscape materials planted within and to ensure proper growth and maintenance.

-Plantings shall entice the senses by providing variety of color, texture, seasonal interest and character, flowering ornamental foliage, evergreen character, bark texture and color, and physical form.

-While a natural style of landscaping is preferred, formal landscaping may be appropriate to compliment certain architectural styles.

-Mature tree and palm species are preferred in buffers where visibility to retail operation is desirable and to accentuate main entries and roadways. Tiered plantings with varying textures and growth habits are encouraged. Mass plantings of similar plant species is preferred with appropriate spacing to give each variety the ability to grow to its maintained maximum growth habit.

-Planting at project signs shall be designed to reinforce the project character of Coconut Trace. Selected plant material shall be of an appropriate scale so as to not obstruct visibility of signage content. Specific plant species shall be chosen to enhance the overall landscape and the aesthetic and functional purposes of project signs. Tree sizes and quantities shall meet or exceed local code requirements. Large growing palms should be planted in rows or bosques while naturally clustering palms such as Sabals should be planted in odd number groupings of a minimum of three (3) palms in staggered heights in each cluster. When larger trees of a minimum of 16' overall height are used, the LDC allows for a reduction of tree quantities up to 50% under the General Tree Requirement. Please refer to the LDC for further details.

-Shrubs shall be a minimum of 24" in height, in a 3-gallon container, at the time of installation. Shrubs and groundcovers shall be of an appropriate size and spacing that moderate coverage can be obtained after one growing season.

-Vines shall be a minimum 3 gallon container size and have 30" minimum runners at the time of installation.

-Properties fronting a right of way shall provide and maintain sod up to the edge of the roadway. Turf areas shall be planted with St. Augustine (Floritam, Seville or Palmetto species) shall provide solid cover within 30 days from installation; preferred species and variety to be determined. Bahia sod shall be acceptable only for naturally landscaped pre-treatment areas. Sod shall be clean and reasonably free of noxious pests or diseases.

-As exterior landscape material, no artificial plantings of any type, size or color shall be permitted.

-In pedestrian areas where sight lines are necessary for safety reasons, a minimum 8' clear trunk must be provided on all tree and palm species.

-Berms shall be provided where required by the LDC.

-Buffers shall consist of a combination of large trees and palms, understory trees and palms, and large and small shrubs designed to grow together within one (1) year.

-All planting beds shall be mulched with Eucalyptus mulch at a minimum depth of three (3") inches (except seasonal flowerbeds where suitable planting soil must be used). The use of Cypress mulch or landscape rock cover is not permitted. Mulch is not permitted as the primary groundcover. Plantings must provide 50% coverage at the time of installation. Mulch shall be used in planting beds and around trees to hold in moisture and provide weed control, rather than solely as a design element.

-All plantings must be Florida Number 1 or better in accordance with Grades and Standards for Nursery Plants and installed through horticulturally correct methods. Large trees and palms shall be properly guyed with aesthetic, adjustable stays. Wood supports must be stained with a weathering, semi-transparent stain in a color appropriate to the surrounding elements. No supports shall be nailed into trunks.

-Good Xeric principles should be employed. Plants having similar water requirements shall be grouped together creating "hydrozones" for appropriate irrigation application.

-Planting plans that require excessive maintenance or suggest improper plant spacing will be rejected.

2. Landscape Maintenance

LDC standards for pruning dictate that, "Vegetation required by this code may only be pruned to promote healthy, uniform, natural growth of the vegetation (except where necessary to promote health, safety and welfare) and be in accordance with "Pruning Standards (Revised 1988)" of the National Arborist Association. Trees must not be severely pruned to permanently maintain growth at a reduced height or spread. Pruning must not interfere with the design intent of the original installation. Severely pruned trees must be replaced by the property owner. A plant's growth habit must be considered in advance of conflicts which might arise (i.e. views, signage, overhead power lines, lighting, circulation, sidewalks, buildings and similar conflicts)".

All construction areas must be cleaned up at the end of each workday and all unplanted, excavated holes must be properly barricaded.

Landscaping and irrigation must be maintained in perpetuity in good condition so as to present a healthy, neat and orderly appearance. Maintenance of both shall be the responsibility of the owner, tenant or agent, jointly or severally. All landscape and hardscape areas must be kept free of weeds, refuse and debris. If at any time after a Certificate of Occupancy or other form of approval has been received, the maintenance is found to be less than standard and not in compliance, the DRB or local administrative official shall issue a notice to the owner detailing what action is required to comply. If the owner, tenant or agent fails to comply within 30 days to restore the site to its proper level of maintenance, a workforce shall be brought in to bring the project back up to the required standards and the owner will be billed for costs incurred.

3. Irrigation

All plantings shall be irrigated with automatic irrigation systems having pumps and time clocks screened from view. Time clocks must be able to accommodate South Florida Water Management District Conservation Rules. A rain sensor shut-off switch is required to prevent watering when rainfall is sufficient for landscaping needs. A combination of "Popup" spray heads and drip emitters shall be used. Where exposed pipe extensions might be necessary, they shall be painted dark green or black.

Irrigation systems must be designed by a Landscape Architect, irrigation designer, or certified irrigation design and installation company. Care should be taken to provide 100% coverage while minimizing overspray onto adjacent buildings or hard surface areas.

The maintenance of the irrigation systems is as important as the maintenance of the landscaping. Maintenance agreements should provide for routine inspections.

Sustainable irrigation should be incorporated whenever possible, including the use of drip emitters. The sustainable irrigation system should comply with approved regulatory practices.

All lawn and landscaped areas which adjoin the public right-of-way, entry drives, sidewalks, corridors and building perimeter planting areas and all internal parking lot islands must be irrigated with a fully automatic irrigation system.

4. Landscaped Entries

Attractively landscaped entries serve as welcoming and inviting gateways into the project. Landscape treatments of varying scale and detail prioritize specific locations.

Each free-standing sign shall be accompanied by landscaping to accentuate and enhance the sign while maintaining visibility. Landscaping shall provide a minimum of fifty percent (50%) coverage of the landscaped area at installation. Turfgrass shall be limited to a maximum of ten percent (10%) of the total landscape area.

Landscaped entries consist of the main project entrance and outparcel entrances with individual signage landscape areas.

Main Entry:

The landscape character of Coconut Trace shall be established with the landscape design of the main entrance. A combination of flowering canopy trees, palm species, shrubs and flowering groundcovers shall define this character.

In addition to landscaping, decorative paving with enhanced pavement banding shall further accentuate the main entrance.

Outparcel Entrances:

These entries shall correspond to the main entrance, continuing the established character of Coconut Trace. Informal groupings of trees, palms, shrubs and groundcovers will accent the architecture while maintaining visibility to the specific tenant.

Crosswalks connecting parcels may be accented with decorative entry banding.

Architectural pylons or walls may be integrated into sculptural grading and shall be planted with flowering shrubs and/or groundcover.

Landscaped Signage Areas:

These areas offer wayfinding throughout the project and shall be accented with palm species, ornamental and flowering canopy trees, shrubs and flowering groundcovers.

5. Plant Material List

Recommended plant species from the following Plant Material List shall be used. Landscape plans identifying specific plant materials shall be submitted to the DRB for review and approval prior to installation.

Category	Latin Name	Common Name
CANOPY TREES	<i>Acer rubrum</i>	Red Maple
	<i>Bucida buceras</i> 'Shady Lady'	'Shady Lady' Black Olive
	<i>Bursera simaruba</i>	Gumbo Limbo
	<i>Coccoloba uvifera</i>	Seagrape
	<i>Gordonia lasianthus</i>	Loblolly Bay
	<i>Ilex x attenuata</i>	'East Palatka' Holly
	<i>Pinus elliotti</i> var. 'Densa'	South Florida Slash Pine
	<i>Platanus occidentalis</i>	Sycamore
	<i>Quercus laurifolia</i>	Laurel Oak
	<i>Quercus virginiana</i>	Southern Live Oak
	<i>Swietenia mahagoni</i>	Mahogany
	<i>Taxodium distichum</i>	Bald Cypress
	<i>Terminalia catappa</i>	Tropical Almond
	FLOWERING TREES	<i>Bauhinia blakeana</i>
<i>Cassia surrattensis</i>		Bush Cassia
<i>Coccoloba diversifolia</i>		Pigeon Plum
<i>Cordia sebestena</i>		Geiger Tree
<i>Delonix regia</i>		Royal Poinciana
<i>Eryobotrya japonica</i>		Loquat
<i>Eugenia rhombica</i>		Red Stopper
<i>Jacaranda mimosifolia</i>		Jacaranda
<i>Koelreuteria</i> spp.		Golden Rain Tree
<i>Lagerstroemia indica</i> 'varieties'		Crape Myrtle
<i>Lagerstroemia speciosa</i>		Queen's Crape Myrtle
<i>Magnolia grandiflora</i>		Southern Magnolia
<i>Magnolia virginiana</i>		Sweet Bay
<i>Psidium littorale</i>		Cattley Guava
<i>Spathodea campanulata</i>		African Tulip
<i>Tabebuia caraiba</i>		Yellow Trumpet Tree
<i>Tabebuia heterophylla</i>	Pink Trumpet Tree	
<i>Tabebuia impetiginosa</i>	Purple Trumpet Tree	

SMALL TREES	<i>Clusia guttifera</i>	Small Leaf Clusia
	<i>Conocarpus erectus</i>	Green Buttonwood
	<i>Conocarpus erectus</i> 'Sericeus'	Silver Buttonwood
	<i>Ilex cassine</i>	Dahoon Holly
	<i>Ligustrum japonicum</i>	Japanese Privet
	<i>Magnolia grandiflora</i> 'Little Gem'	'Little Gem' Magnolia
	<i>Magnolia virginiana</i>	Sweet Bay Magnolia
	<i>Myrcianthes fragrans</i> 'Simpsonii'	Simpson's Stopper
	<i>Myrica cerifera</i>	Wax Myrtle
	<i>Persea borbonia</i>	Red Bay
	<i>Strelitzia nicolai</i>	White Bird of Paradise
	<i>Viburnum odoratissimum</i>	Sweet Viburnum
	<i>Viburnum odoratissimum</i> 'Awabuki'	'Awabuki' Viburnum
PALM TREES	<i>Cocos nucifera</i>	'Green Malayan' Coconut Palm
	<i>Phoenix canariensis</i>	Canary Island Date Palm
	<i>Phoenix dactylifera</i> 'Medjool'	'Medjool' Date Palm
	<i>Phoenix dactylifera</i> 'Sylvestris'	'Sylvestris' Date Palm
	<i>Phoenix reclinata</i>	Senegal Date Palm
	<i>Phoenix reclinata</i> x <i>roebelinii</i>	Hybrid Clumping Date Palm
	<i>Phoenix roebelenii</i>	Pygmy Date Palm
	<i>Raphis excelsa</i>	Lady Palm
	<i>Ravenala madagascariensis</i>	Travelers Palm
	<i>Roystonea elata</i>	Florida Royal Palm
	<i>Sabal palmetto</i>	Sabal Palm
	<i>Serenoa repens</i>	Saw Palmetto
	<i>Serenoa repens</i> 'Cinerea'	Silver Saw Palmetto
	<i>Thrinax radiata</i>	Florida Thatch Palm
	<i>Trachycarpus fortunei</i>	Windmill Palm
	<i>Washingtonia robusta</i>	Washington Palm
	<i>Wodyeta bifurcata</i>	Foxtail Palm
SHRUBS/ GROUND COVER/VINES	<i>Acrostichum daneifolium</i>	Leather Fern
	<i>Alpinia</i> spp.	Ginger
	<i>Bougainvillea</i> spp.	Bougainvillea
	<i>Bougainvillea</i> 'Helen Johnson'	Dwarf Bougainvillea
	<i>Calliandra haematocephala</i>	Powder Puff
	<i>Callicarpa americana</i>	Beautyberry
	<i>Capparis cynophallophora</i>	Jamaica Caper
	<i>Carissa macrocarpa</i>	Natal Plum
	<i>Chrysobalanus icaco</i>	Cocoplum
	<i>Coccoloba uvifera</i>	Seagrape
	<i>Conocarpus erectus</i>	Green Buttonwood
	<i>Conocarpus erectus</i> 'Sericeus'	Silver Buttonwood
	<i>Crinum</i> spp.	Crinum Lily
	<i>Cycas revoluta</i>	King Sage
	<i>Duranta erecta</i> 'Sapphire Shower'	Purple Dewdrop
	<i>Duranta repens</i>	Golden Dewdrop
	<i>Eugenia rhombea</i>	Red Stopper
	<i>Eugenia uniflora</i>	Surinam Cherry
	<i>Fatsia japonica</i>	Fatsia
	<i>Feijoa sellowiana</i>	Pineapple Guava

	<i>Forestiera segregata</i>	Florida Privet
	<i>Galphimia gracilis</i>	Thryallis
	<i>Gamolepis chrysanthemoides</i>	African Daisy Bush
	<i>Gardenia</i> spp.	Gardenia
	<i>Hamelia patens</i>	Firebush
	<i>Helianthus debilis</i>	Beach Sunflower
	<i>Hemerocallis</i> spp.	Day Lily
	<i>Hibiscus rosa-sinensis</i>	Chinese Hibiscus
	<i>Hymenocallis latifolia</i>	Spider Lily
	<i>Ilex vomitoria</i> 'Schellings'	Dwarf Yaupon Holly
	<i>Iris hexagona savannarum</i>	Blue Flag Iris
	<i>Ixora</i> spp.	Hybrid Ixora
	<i>Jasminum multiflorum</i>	Downy Jasmine
	<i>Jasminum</i> spp.	Jasmine
	<i>Lantana camara</i>	Lantana
	<i>Lantana montevidensis</i>	Trailing Lantana
	<i>Ligustrum</i> spp.	Privet
	<i>Liriope muscari</i> 'Evergreen Giant'	'Evergreen Giant' Liriope
	<i>Lonicera sempervirens</i>	Coral Honeysuckle
	<i>Muhlenbergia capillaris</i>	Muhly Grass
	<i>Murraya paniculata</i> 'Lakeview'	Orange Jasmine
	<i>Myrcianthes fragrans</i> 'Simpsonii'	Simpson's Stopper
	<i>Nephrolepis falcata</i>	Macho Fern
	<i>Nephrolepis biserrata</i>	Fishtail Fern
	<i>Nerium oleander</i>	Common Oleander
	<i>Nerium oleander</i> 'Petite Pink'	Dwarf Pink Oleander
	<i>Pennisetum setaceum</i>	Green Fountain Grass
	<i>Pentas</i>	Egyptian Star Cluster
	<i>Philodendron selloum</i>	Split Leaf Philodendron
	<i>Philodendron</i> 'Xanadu'	'Xanadu' Philodendron
	<i>Pittosporum tobira</i>	Green Pittosporum
	<i>Plumbago</i> 'Imperial Blue'	Blue Leadwort
	<i>Podocarpus macrophyllus</i>	Podocarpus
	<i>Polypodium scolopendria</i>	Wart Fern
	<i>Pontederia cordata</i>	Pickereel Weed
	<i>Psychotria nervosa</i>	Wild Coffee
	<i>Rapanea punctata</i>	Myrsine
	<i>Raphiolepis indica</i>	Dwarf Indian Hawthorn
	<i>Russelia equisetiformis</i>	Firecracker
	<i>Schefflera arboricola</i>	Dwarf Schefflera
	<i>Serenoa repens</i>	Saw Palmetto
	<i>Serenoa repens</i> 'Cinerea'	Silver Saw Palmetto
	<i>Sophora tomentosa</i>	Necklace Pod
	<i>Spartina</i> spp.	Cordgrass
	<i>Stachytarpheta jamaicensis</i>	Blue Porterweed
	<i>Strelitzia reginae</i>	Bird of Paradise
	<i>Thunbergia grandiflora</i>	Blue Skyflower
	<i>Tibouchina</i> spp.	Glory Bush
	<i>Trachelospermum asiaticum</i>	Asiatic Jasmine
	<i>Trachelospermum jasminoides</i>	Confederate Jasmine
	<i>Tripsacum dactyloides</i>	Fakahatchee Grass

	<i>Tripsacum floridanum</i>	Dwarf Pakahatchee Grass
	<i>Viburnum odoratissimum</i>	Sweet Viburnum
	<i>Viburnum odoratissimum</i> 'Awabuki'	'Awabuki' Viburnum
	<i>Zamia floridana</i>	Coontie
	<i>Zamia furfuracea</i>	Cardboard Palm
AQUATICS	<i>Canna flaccida</i>	Yellow Canna
	<i>Crinum americanum</i>	String Lily
	<i>Juncus effusus</i>	Soft Rush
	<i>Nymphaea</i> spp.	Waterlily
	<i>Sagittaria</i> spp.	Arrowhead
	<i>Thalia geniculata</i>	Arrowroot
	<i>Hymenocallis latifolia</i>	Spider Lily
	<i>Scirpus</i> spp.	Bulrush

Plant Notes -

Shrubs:

Planting plans that employ improper plant spacing resulting in excessive maintenance will be rejected.

Sod:

Lawn areas shall be St. Augustine species of Floratam, Seville or Palmetto. Other lawn grasses such as Paspalum, Bahia and Zoysia varieties may be approved by the DRB based on individual request.

Prohibited Vegetation -

The following list identifies plants which are not permitted at Coconut Trace:

<i>Botanical Name</i>	<i>Common Name</i>
<i>Acacia auriculiformis</i>	Earleaf Acacia
<i>Araucaria heterophylla</i>	Norfolk Island Pine
<i>Casuarina</i> spp.	Australian Pine
<i>Cupaniopsis anacardiopsis</i>	Carrotwood
<i>Melaleuca</i> spp.	Cajeput/Paper Tree
<i>Rhodomyrtus tomentosus</i>	Downy Rose Myrtle
<i>Schinus terebinthifolius</i>	Brazilian Pepper
<i>Solanum viarum</i>	Tropical Soda Apple

B. Landscape Specifics

The landscaping at Coconut Trace shall incorporate the following specific design techniques and elements, accentuating the visibility of these areas, reinforcing corresponding site features such as roadways and open space, and illustrating the Neo-Mediterranean ambiance of Coconut Trace:

-The use of palm species with flowering canopy trees

-A pedestrian scale landscape with an informal mixture of large and small canopy trees, both evergreen and deciduous

-Accent plantings of informal, small-scaled tropical palms and textural shrubs and groundcovers

PART 4 SIGNAGE

I. INTRODUCTION

Signage identifies project components and assists in way finding. Identity, way finding and commercial signage at Coconut Trace shall illustrate a common theme indicative of the Neo-Mediterranean character of the project. The following design guidelines have been established for the project identity signage and way finding signs which may be used throughout the project. Signage details for individual storefronts which may feature business logos allow for flexibility of expression through variation of sign type and construction.

These guidelines are intended to control appropriate signage without restricting design creativity of tenants. All signage must comply with these guidelines and receive approval by the DRB. In addition, all signs must conform to local sign ordinances and will not exceed any size restrictions.

One temporary, freestanding sign along public roadways will be permitted to identify each parcel, prior to permanent signage installation. Additional signs may be permitted, subject to the approval of the DRB, for large site that have more than one orientation or for unusual circumstances. No real estate signage shall be permitted to remain on a parcel for which the building located upon it is fully leased or occupied. Owners may not erect signs outside the boundaries of their parcel without the written approval of the DRB and the owner of the property on which the sign is to be located.

II. SIGN TYPES

A Project Identity Signage

1. Project Identity Monument Signs

The architectural language and unique identity of Coconut Trace is conveyed through these structures which provide for project signage. These serve a primary function in introducing the project and shall be accented by lush landscaping while maintaining visibility of sign contents.

2. Outparcel Signs

These structures shall correspond to the project identity signage, be smaller in scale and detail with landscaping and architectural articulation continuing the established character of Coconut Trace. Informal plantings of trees, palms, shrubs and groundcovers will accent the signage while maintaining visibility of sign contents.

B. Way Finding Sign Types

Way finding directories will be provided at key locations throughout the project, suitably sized and located to provide easily readable information for pedestrians, bicyclists, and drivers of motor vehicles

1. Pedestrian signs shall be similar in style to other project signage, only on a smaller scale, to provide information on tenant locations.
2. Vehicle signs may either be pole mounted or similar in style to outparcel signs and may directional arrows and other project information. Adequate clearances above grade for any projecting elements must be considered when designing pole mounted way finding signs while maintaining visibility and legibility.
3. Bicycle signs providing information on orientation and destinations shall be centrally mounted on poles at the eye level of the cyclist.

III. BUILDING SIGNAGE

The following design guidelines outlining the types and construction of building signage at Coconut Trace have been established regarding the individual buildings and storefronts of tenants.

A. Building Sign Types and Details

All tenant signs are to comply with Lee County signage codes. Signs on any one sign face of a tenant building shall not exceed 300 square feet. Building face is defined as the area of wall measured from the roof eave or top of parapet to finished floor which fronts on the leased or owned space of the tenant or owner.

Multi-occupancy buildings will be permitted tenant signs with a maximum letter height of 18" and be a minimum of 4' away from all other signs. Tenant signs shall not exceed the tenant frontage length. Window signage is not permitted. Entrance doors may have a 12"x24" area above the door pull level that has the store or business name and logo in a style and color consistent with the approved tenant sign. In addition, a maximum of five lines for hours of operation is permitted below the door pull level.

1. Wall Mounted and Fascia Signs

- Provide key tenant identification above storefronts and on building facades
- Wall mounted signs and fascia signs of construction types outlined in this section shall be permitted.

2. Awning Signs

- Permitted on awning valances

3. Projecting Signs

- Encouraged to provide visual excitement and accentuate the pedestrian character of Coconut Trace
- Signs located at a building corner may be sized according to the larger of the two building faces adjoining that corner.
- Minimum clear distance of 9'-6" must be provided from the bottom of a projecting sign to a pedestrian walking or vehicular driving surface.

4. Banners (Subject to EDRC Review and Approval)

- Announce community events and enliven streetscapes and pedestrian areas with color, texture and rhythm
- May not advertise discounts or sales events
- Must be fastened to arms attached to poles erected for that purpose, lamp posts or wall brackets on buildings which must be permanently fastened and integral to the design of the post or façade to which they are attached
- Seasonal theme banners shall be permitted

B. Construction Types of Building Signs

The following types of sign construction shall be permitted at Coconut Trace. All transformers, wiring, ballasts, connectors and labels must be concealed from view upon completion. Signage lighting, whether internal or external, shall be one color tone for each sign.

- Internally illuminated, reverse channel letter signs:
Individual letters are mounted off the wall with either mounting clips or pins and with internal illumination projecting out and around the letter backs.

- Double illuminated channel letter signs:

Individual letters are mounted off the wall with either mounting clips or pins and highlighted with internal illumination projecting through the letter faces, as well as out and around the letter backs.

-Internally illuminated channel letter signs:

Individual letters are surface mounted to the wall usually with clip angles highlighted with internal illumination projecting through translucent letter edges but not through opaque letter faces or backs.

-Edge illuminated channel letter signs:

Individual letters are surface mounted to the wall usually with clip angles highlighted with internal illumination projecting through translucent letter edges but not through opaque letter faces or backs.

-Dimensional cut or cast letter signs:

Letters are mounted off the wall with either mounting clips or pins and highlighted with concealed illumination projecting out and around the letters.

-Sign cut from an opaque panel:

Individual letters are cut from an opaque panel and highlighted with concealed illumination projecting through the letters and potentially out and around the panel.

PART 5

LIGHTING

I. INTRODUCTION

Lighting shall enhance the aesthetic of Coconut Trace. Proper lighting not only highlights spaces and way finding systems but creates a sense of safety and well being. Outdoor lighting shall accent the architecture, entries, hardscape and landscaping to express the unique Neo-Mediterranean character of this project. Lighting techniques at Coconut Trace will add property value from a safety and security standpoint as well as provide interesting visual and functional effects. Light sources shall be shielded and concealed where possible.

II. GENERAL PRINCIPLES

The following general lighting principles shall apply to all outdoor lighting at Coconut Trace:

-Indirect accent lighting of building facades, signage and entry drives is encouraged. Fixtures shall be mounted at a maximum height of 10' to the bottom of the fixture to ensure ease of changing bulbs.

-Coordination of site and accent lighting with the landscape design is required. Landscape uplighting shall be concealed underground or within shrub masses. Garden lights or walkway bollards should direct the light downward with a concealed light source and be incorporated into landscape beds.

-Building mounted floodlights shall only be permitted for internally protected service court areas or as emergency lighting and must not project above the fascia or outside the roofline of the building. All fixtures and shields shall be of a color harmonious with the building to which attached.

-All lighting design and fixtures shall be directed away from the public right of way or abutting properties so as not to be a nuisance.

A. Site Lighting

Site lighting at Coconut Trace shall set the tone for evening operation, accentuate walks and roadways and heighten safety conditions.

1. Parking Lots

All parking lots shall feature pole mounted, shoebox type fixtures with metal halide lamps. Per the LDC, fixtures shall not exceed 25' in height, measured from the finished grade at the base of the pole to the bottom of the lamp. Wrought iron or cast aluminum, painted black or other compatible dark colors, are appropriate materials.

Fixtures shall be spaced to provide evenly distributed light throughout the lot.

Parking lot light fixture design shall be consistent throughout the project. No parking lot lights over 6' in height may be located on Tracts "E" and "F", also known as Lots "H" and "I", between the buildings and the west property line.

2. Pathways and Pedestrian Lighting

A street and pedestrian lighting program shall be established as an integral part of the Coconut Trace streetscape.

Pedestrian pole lights are to be furnished, installed, maintained and powered by an association and individual property owners.

Pedestrian lighting shall be mounted on either freestanding poles or brackets on building facades at a height of 10 feet to the bottom of the fixture.

Appropriate lighting shall ensure that all walkways are safe during evening operation.

Walkway light fixture types may include step, bollard, garden or concealed lights at rails.

3. Street Lighting

Per the Estero Point CPD Design Standards, proposed street lighting shall conform to the Estero Code Lighting Standards except with an 18' maximum height restriction. Street lights are prohibited along the project's reverse access street and shall be directed away from adjoining properties and fully shielded to avoid intrusion from adjacent properties. Low level, indirect, diffused light shall be provided for on site and underneath canopy lighting.

B. Landscape Lighting

Landscape lighting shall dramatically enhance the plantings of Coconut Trace. The lighting techniques of bullet lighting on trees, canopy down lights, garden lights, concealed up lights, and indirect landscape lighting are encouraged at planting areas and special landscape features.

III. LIGHTING CHARACTERISTICS

-Lighting shall enhance the character of Coconut Trace.

-Architectural lighting consisting of sconces, up lights, cover lights and ornamental fixtures shall define and enhance building massing and color.

-The Neo-Mediterranean architectural identity of Coconut Trace shall be reflected in the design of all visible building lighting.

-Accent features and focal points such as portals may be enhanced by concealed accent lights at building facades.

-The project design intent can be reinforced by freestanding pole lights adjacent to building exteriors.

-Wrought iron and glass, painted metal and aged metals are appropriate materials for visible building light fixtures.